

# Staff Report City of Loma Linda

From the Department of Community Development

## PLANNING COMMISSION MEETING OF SEPTEMBER 13, 2006

**TO:** PLANNING COMMISSION

**FROM:** DEBORAH WOLDRUFF, AICP, DIRECTOR, <sup>HWC</sup> <sup>for</sup>  
COMMUNITY DEVELOPMENT DEPARTMENT

**SUBJECT:** PRECISE PLAN OF DESIGN (PPD) NO. 06-10

### SUMMARY

The proposal is a request to demolish a 400 square-foot detached garage and construct a 540 square-foot addition to an existing 680 square-foot dwelling with a new 440 square-foot attached garage. In addition, applicant requests to construct two new 2-story units (1,150 square-feet each) for a total of three units on a 0.46-acre lot located at 10625 Poplar Street (See Attachment A). The site is designated on the General Plan land use map as Medium Density Residential (5.1-9.0 dwelling units per acre) and is zoned as R-3, Multiple-Family Residence.

### RECOMMENDATION

The recommendation is that the Planning Commission approves Precise Plan Design No. 06-10 based on the Findings and subject to the attached Conditions of Approval (Attachment B).

### PERTINENT DATA

Property Owner/Applicant:	Fredesbindo & Loreta Gadea
General Plan:	Medium Density Residential (5.1 to 9.0 DU/acre)
Zoning:	Multiple-Family Residence (R-3) Zone
Site:	A rectangular, 0.46-acre site
Topography:	Flat
Vegetation:	Natural vegetation with perimeter trees
Special Features:	Existing single-family home with a detached garage

**ITEM 2**

## **BACKGROUND AND EXISTING SETTING**

### **Background**

The application was submitted to the Community Development Department on April 13, 2006. The project was reviewed and deemed complete by the Administrative Review Committee (ARC) on April 25, 2006. During the month of May, the applicant revised the plans to reflect the comments from the ARC meeting.

On June 5, 2006 the applicant requested the Historical Commission grant a continuance of the project to July 10, 2006 to provide adequate time to complete and submit the required historical study. The relevant study was completed and submitted to the Community Development Department on July 5, 2006, which did not provide staff with adequate time to evaluate the information; therefore, a further continuance was requested to August 7, 2006 Historical Commission.

On August 7, 2006, the Historical Commission approved the Certificate of Appropriateness and forwarded a recommendation to the City Council for ratification of the Certificate, based on the findings and recommended Conditions of Approval (for the project).

### **Existing Setting**

The approximate 0.46-acre (20,025 square-feet) lot is located at 10625 Poplar Street. The surrounding area is developed to the north and east with other residential parcels that date back to the 1950's and prior. The parcel is bounded on the west by Poplar Street and on the south by a public right-of-way alley designated for fire access only.

The existing dwelling and garage date back to 1951 and have been maintained on the site in adequate condition. The front and rear areas are landscaped with trees, grass and vegetation that surrounds the perimeter.

## **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATUS**

The construction of the new triplex is exempt from CEQA pursuant to the CEQA Guidelines §15303(b), which provides a Class 3 Categorical Exemption for new construction of up to six dwelling units in urbanized areas.

## **ANALYSIS**

### **Project Description**

As previously stated, the project is a request to demolish/reconstruct and add two new units on an approximately one-half acre lot.

## **Public Comments**

Public Hearing Notices for this project were posted and mailed to parcel owners and residents within 300 feet of the project site on August 31, 2006. As of the writing of this report, no written or oral comments have been received in opposition or in favor of the proposal.

## **Historical Commission**

At the request of the City of Loma Linda, a cultural resources records search was conducted by Ms. Robin Laska on May 24, 2006 at the San Bernardino County Museum, Archaeological Information Center. The search indicated that the project site potentially could have historical significance and as a result, the applicant was required to submit a Cultural Resources Report. The applicant contracted with ECORP Consulting, Inc. (ECORP) to initiate the request and the report was submitted to the Community Development Department on July 5, 2006. The survey results indicate that the dwelling and garage were constructed in 1951, but lack historical and architectural significance and have poor architectural integrity. Therefore, ECORP concluded that the project site does not appear to have any historical significance that would prohibit implementation of the proposed project.

## **Site Analysis**

The project site consists of one parcel that measures approximately 75 feet by 267 feet with a front yard building setback of 59 feet along Poplar Street. The side-yard setback is identified at 10 feet to the south and north of the new construction. The rear-yard setback is identified at 20 feet from the new two-story structure. The Loma Linda Municipal Code Sections 17.38.060 through 17.38.090 require minimum setbacks of 20 foot in the front-yard, five foot with additional five feet for each story above one story for side-yards, and 15 foot with additional five feet for each story above one story for rear-yards. Therefore, this project meets the minimum setback requirements.

The site plan indicates that the open space is provided in the northern portion of the property between the three units, the front portion of the property, and a small pocket at the rear of the property. As noted on the plan, the project will provide a minimum of 2,400 square feet of common usable open space to meet the minimum open space requirements of 800 square feet for each three-bedroom unit.

The project is accessed via Poplar Street with a long driveway that reaches each unit and the rear of the property. Adjacent to the property boundary to the south is a city owned alleyway. The Loma Linda Fire Department has indicated that adequate access for fire apparatus turnaround is required. The lot is narrow in width and cannot comply with the Fire Department's turnaround requirements, and therefore, a 26-foot rolling crash gate from the alley shall be incorporated into the design of the project as outlined in the Conditions of Approval.

The site plan indicates that there are four open parking spaces and six garage spaces provided for this project. The Code requires 1.5 parking per one-bedroom unit plus 0.5 parking spaces per each additional bedroom and 0.25 parking spaces per bedroom for guest parking. This calculates out to 10 parking spaces. Therefore, the proposed project meets the City's access and minimum parking requirements.

The landscape plan indicates the use of grass, shrubs and trees throughout the project (i.e., date palms, sugar palms, Junipers, grass). The trees are proposed at the driveway and around the open space areas. The Junipers are proposed along the south property line.

### **Architecture Analysis**

The architectural style of the surrounding neighborhood is a mix of traditional residential architecture dating back to the early 1950's. The applicant proposes a California-style theme with a modern, enhanced front entrance. Stucco and pop-out features will be utilized to break up the vertical walls and provide some wall plane variation. The proposed exterior color consists of a cream-base for the stucco with white trim and a red round Spanish-style roof tile.

The proposal includes one single-story unit and two, two-story units. The proposed single-story unit has three bedrooms and two bathrooms with a bonus room/study and measures 1,560 square-feet including the two-car attached garage. The two-story units provide a living room, kitchen, half-bath and master bedroom with full-bath downstairs and two bedrooms and one full bathroom upstairs which equates to a total of 1,590 square-feet including the attached garage for each unit. A laundry facility is provided from the garage area in each unit.

### **Findings**

According to Loma Linda Municipal Code (LLMC) §17.30.290, *Precise Plan of Design, Application Procedure*, PPD applications shall be processed using the procedure for a variance (as outlined in LLMC §17.30.030 through 17.30.060) but excluding the grounds (or findings). As such, no specific findings are required. However, LLMC §17.30.280, states the following:

"If a PPD would substantially depreciate property values in the vicinity or would unreasonably interfere with the use or enjoyment of property in the vicinity by the occupants thereof for lawful purposes or would adversely affect the public peace, health, safety or general welfare to a degree greater than that generally permitted by this title, such plan shall be rejected or shall be so modified or conditioned before adoption as to remove the said objections."

In an effort to ensure that the foregoing project is consistent with the General Plan, compliant with the zoning and other City requirements, compatible with the surrounding

area, and appropriate for the site, staff and the City Attorney have opted to apply the Conditional Use Permit Findings in LLMC §17.30.210 to this project, as follows:

1. *That the use applied for at the location set forth in the application is properly one for which a precise plan of design is authorized by this title.*

The proposed use is a permitted use within the Multiple-Family Residence (R-3) zone. The addition and modification of the current dwelling unit will improve the neighborhood appearance. Rather than maintain the property with the existing, dilapidated structures, the triplex residential development will improve the site and provide the highest and best use of the property. The proposed use also meets the General Plan, Housing Element Goal No. 2 to provide housing that is affordable to all economic segments of the community.

2. *That the said use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, and is not detrimental to existing uses specifically permitted in the zone in which the proposed use is to be located.*

The project is consistent with Goal No. 2 of the General Plan Element 5, Housing Element, which states that the City shall provide housing that is affordable to all segments of the community. The project also is consistent with Policy 1.2 of the Housing Element that states the city shall ensure the supply of safe, decent and sound housing for all residents. The surrounding area is a mix of single- and multi-family residential uses, none of which would conflict with the proposed use.

3. *That the site for the intended use is adequate in size and shape to accommodate said use and all of the yards, setbacks, walls, or fences, landscaping and other features required in order to adjust said use to those existing or permitted future uses on land in the neighborhood.*

The subject parcel is adequate in size and shape to accommodate the proposed use. The lot coverage of the new multi-family residence is less than 19 percent of project site. The building conforms to required setbacks found in the R-3 zoning designation in the Municipal Code. Therefore, the project site can accommodate the proposed use and the multi-family use will be compatible with the existing land uses along Poplar Street.

4. *That the site or the proposed use related to streets and highways is properly designed and improved to carry the type and quantity of traffic generated or that will be generated by the proposed use.*

The project site has access from Poplar Street, which can accommodate the type and quantity of traffic generated by this use. A total of ten parking spaces are proposed to accommodate the proposed triplex, multi-family development. The

proposed project and related on- and off-site improvements that are required would not conflict with other uses immediately adjacent to the project site.

5. *That the conditions set forth in the permit and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare.*

The public health, safety and general welfare will be protected with the implementation of the Conditions of Approval for this Precise Plan of Design to insure compatibility with the neighborhood.

## CONCLUSION

All elements of the project are consistent with the General Plan (July 25, 2006). The project is also in compliance with the R-3 zoning regulations and findings have been made to support staff's recommendation for approval. The applicant has worked closely with staff and has made every effort possible to provide the most appropriate layout, design, and architecture for this project.

The project is eligible for a Class 3 Categorical Exemption from CEQA pursuant to the CEQA Guidelines Sections 15303.

Respectfully submitted,



H. P. Kang  
Senior Planner

## ATTACHMENTS

- A. Vicinity Map
- B. Project Plans
- C. Conditions of Approval

# Attachment A

## Vicinity Map

PPD 06-10

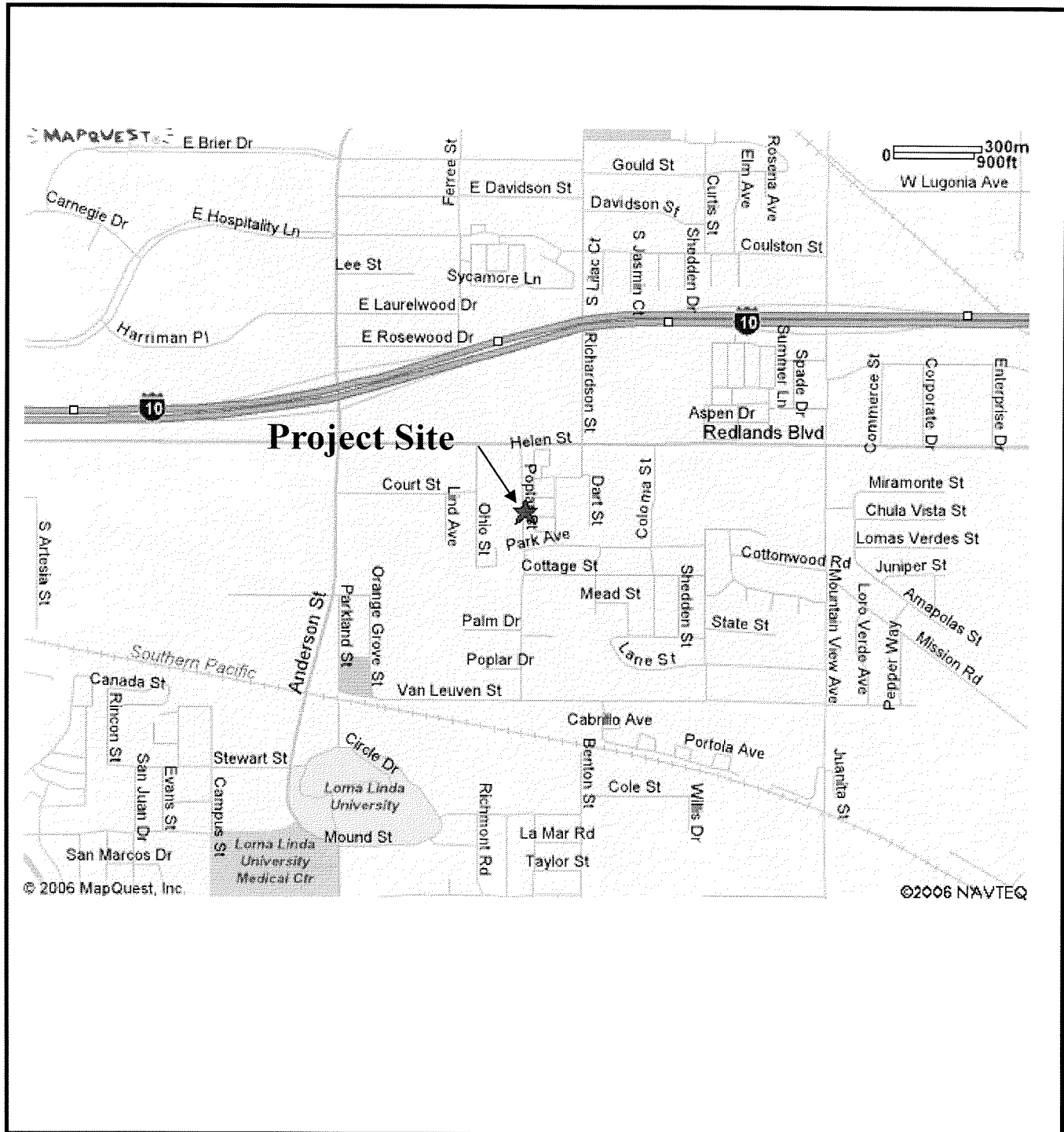
September 13, 2006

# City of Loma Linda

**Community Development Department**

25541 Barton Road, Loma Linda, CA 92354

(909) 799-2830; Fax (909) 799-2894



## Vicinity Map

PPD 06-10

# Attachment B

## Project Plans

PPD 06-10

September 13, 2006

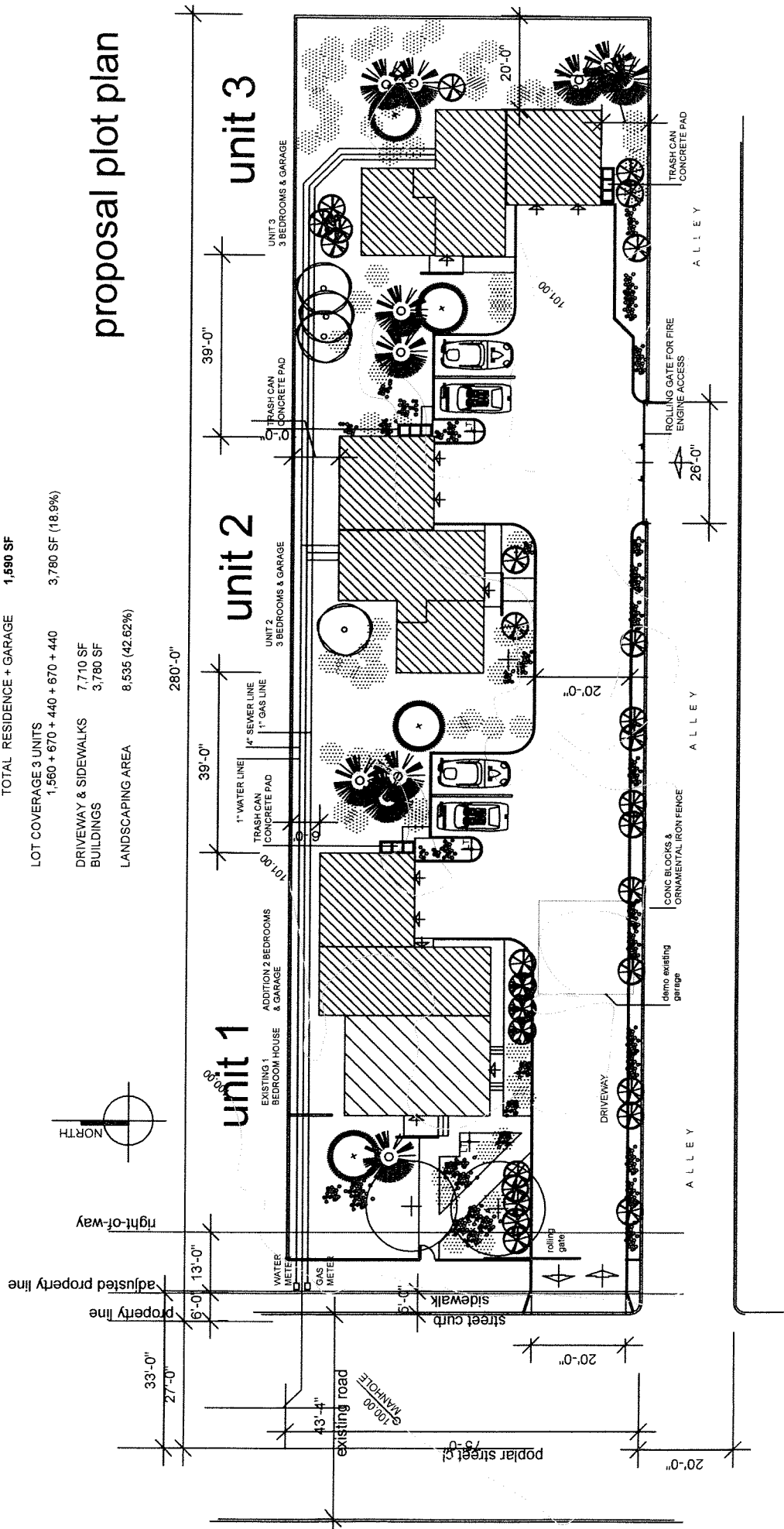
LOT AREA 267' x 75' = 20,025 SF (0.4597 ACRES)  
 DENSITY 5-10 UNITS/ACRE  
 NUMBER OF UNITS 0.4597/10 = 4.59 DESIGN 3 UNITS

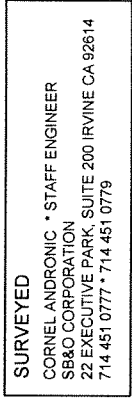
PARKING CALCULATION			
UNIT 1	1.3 + 0.5 + 0.5	2.50	
GUEST	0.25 X 3	0.75	
TOTAL		3.25	
UNIT 2		3.25	
UNIT 3		3.25	
TOTAL		9.75	STALLS

DESIGN 6 GARAGE + 4 OPEN = 10 total

# proposal plot plan

UNIT 1	EXISTING	680 SF	total	1,120 SF
	ADDITION	540 SF		440 SF
	TOTAL RESIDENCE + GARAGE			<b>1,560 SF</b>
UNIT 2	FIRST FLOOR = 670 SF		total	1,150 SF
	SECOND FLOOR = 480			440 SF
	TOTAL RESIDENCE + GARAGE			<b>1,590 SF</b>
UNIT 3	FIRST FLOOR = 670 SF		total	1,150 SF
	SECOND FLOOR = 480			440 SF
	TOTAL RESIDENCE + GARAGE			<b>1,590 SF</b>
LOT COVERAGE 3 UNITS	1,560 + 670 + 440 + 670 + 440			3,780 SF (18.9%)
DRIVEWAY & SIDEWALKS	7,710 SF			
BUILDINGS	3,780 SF			
LANDSCAPING AREA	8,535 (42.62%)			

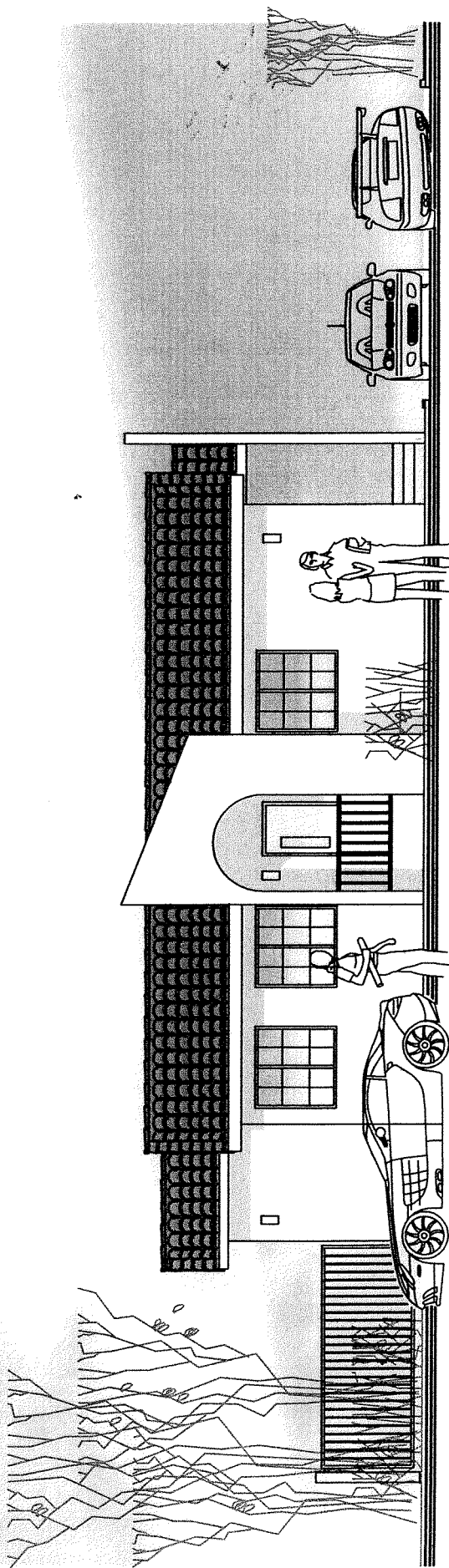




topographical plan  
APN 283 134 10 0000

GADEA HOMES  
unit 1 \* proposed west elevation

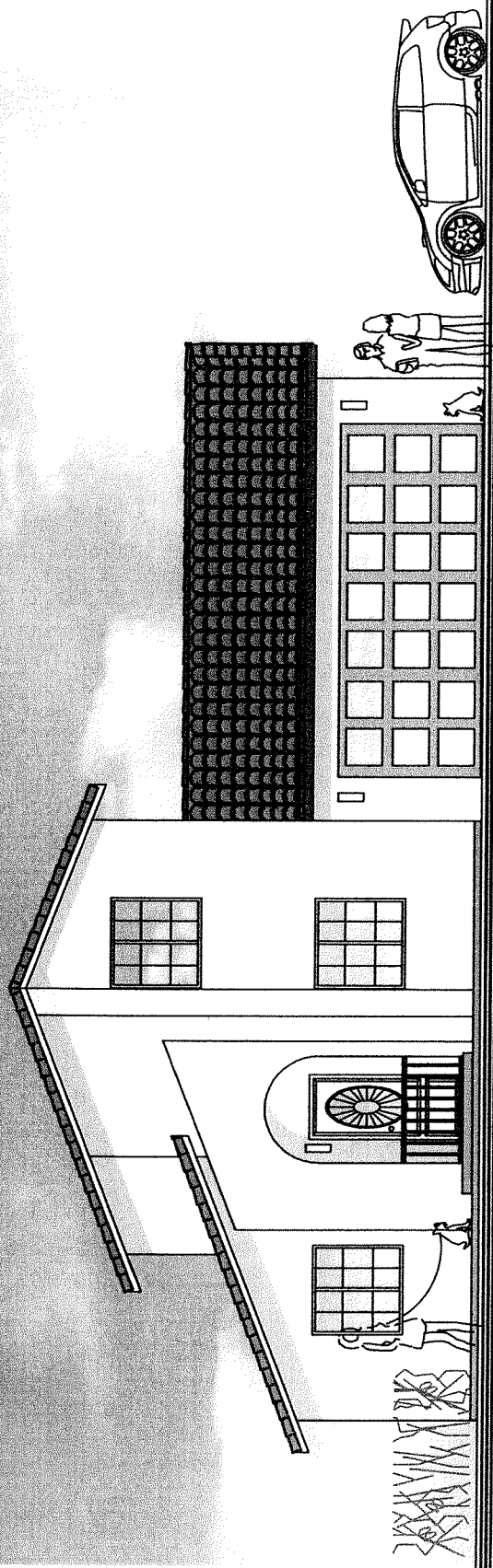
FRED GADEA INVESTMENTS  
10625 POPLER, LOMALINDA, CA 92354  
PHONE 909 796 7831



GADEA HOMES

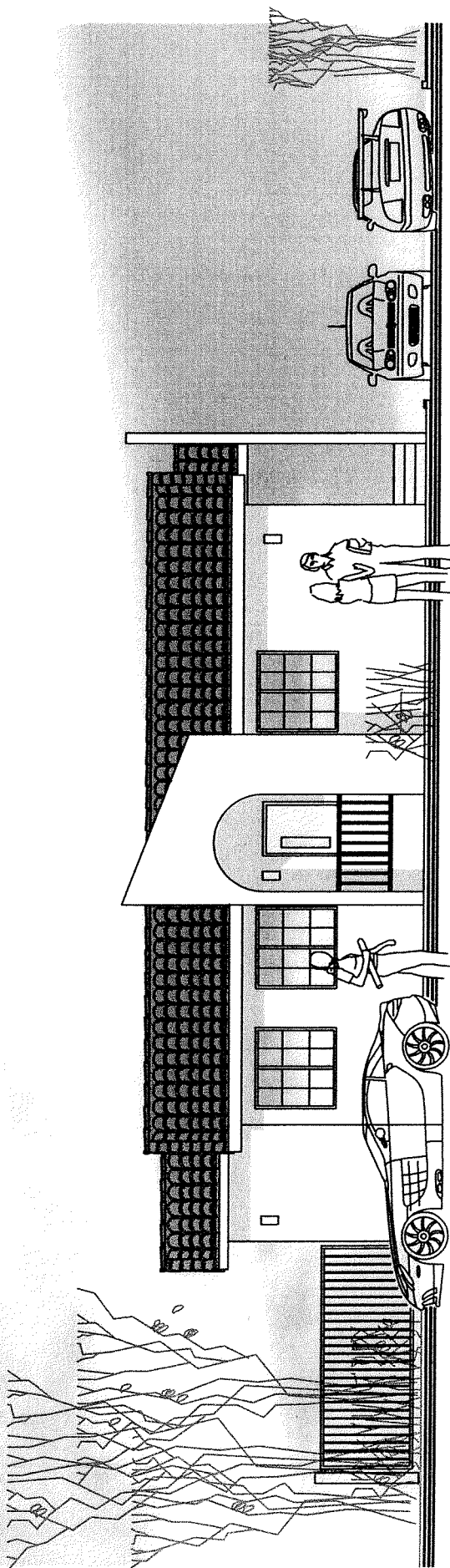
unit 2,3 \* proposed south elevation

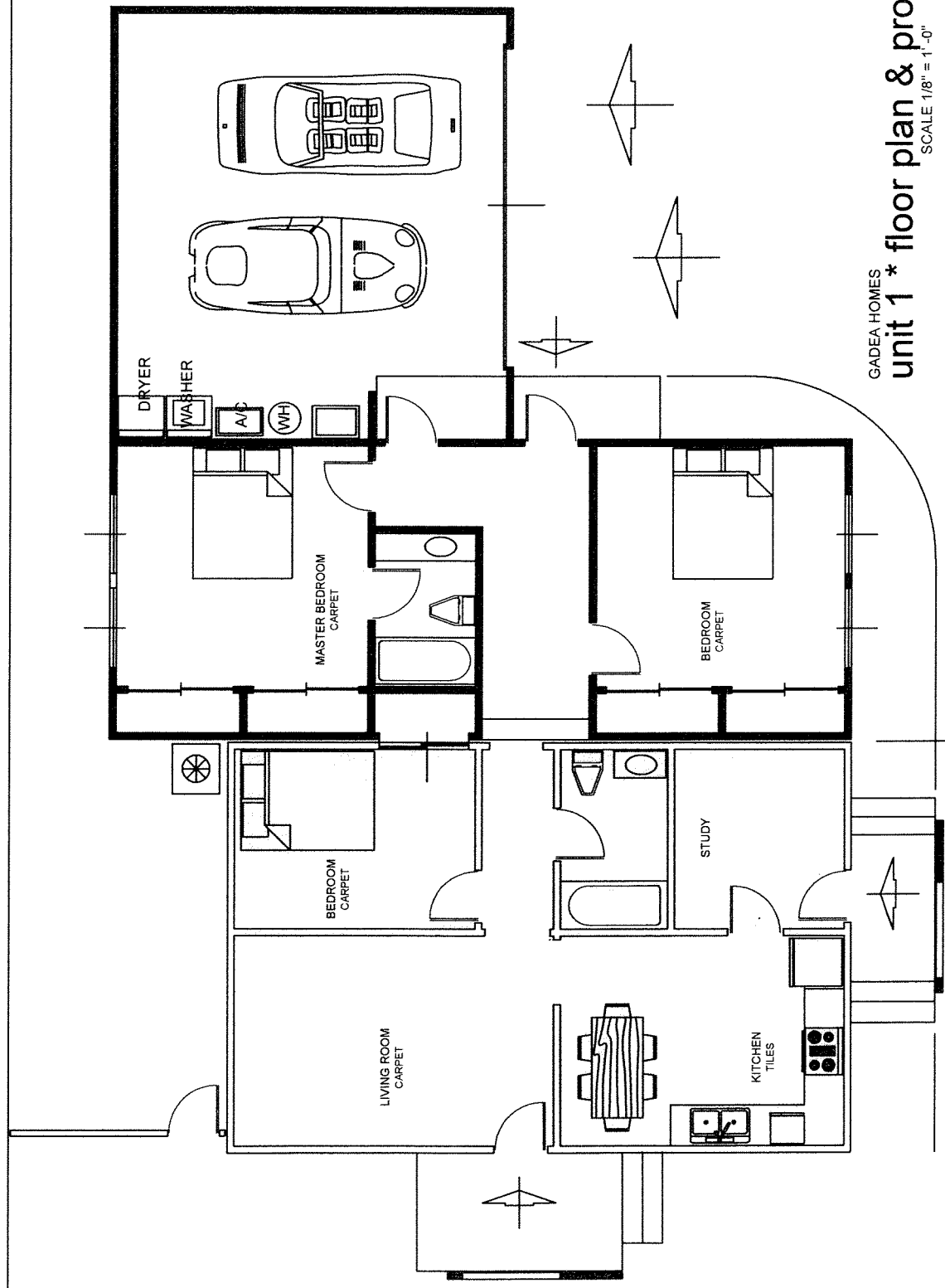
FRED GADEA INVESTMENTS  
10625 POPLER, LOMA LINDA, CA 92354  
PHONE 909 796 7831



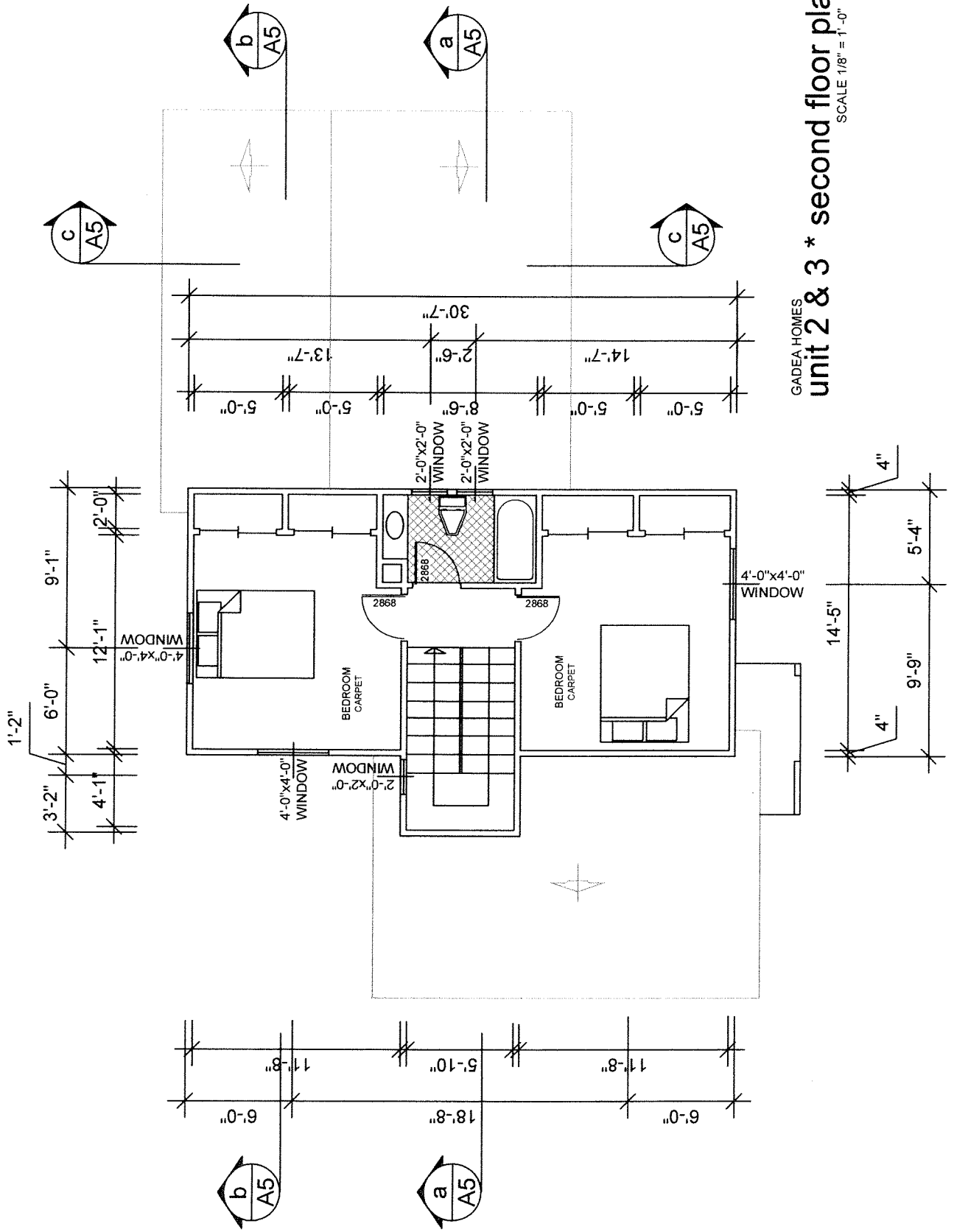
GADEA HOMES  
unit 1 \* proposed west elevation

FRED GADEA INVESTMENTS  
10625 POPLER, LOMALINDA, CA 92354  
PHONE 909 796 7831



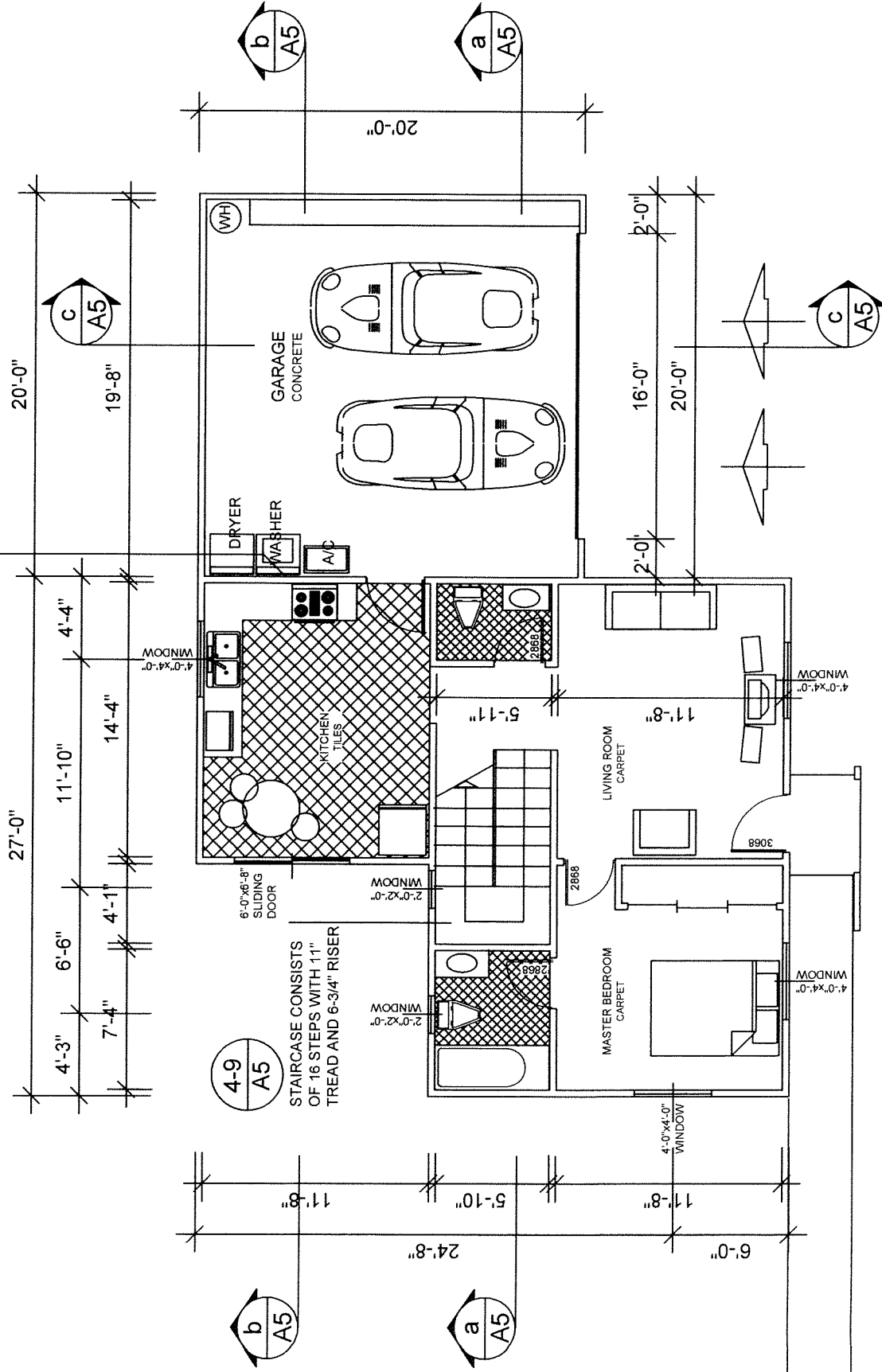


GADEA HOMES  
unit 1 \* floor plan & proposal  
SCALE 1/8" = 1'-0"

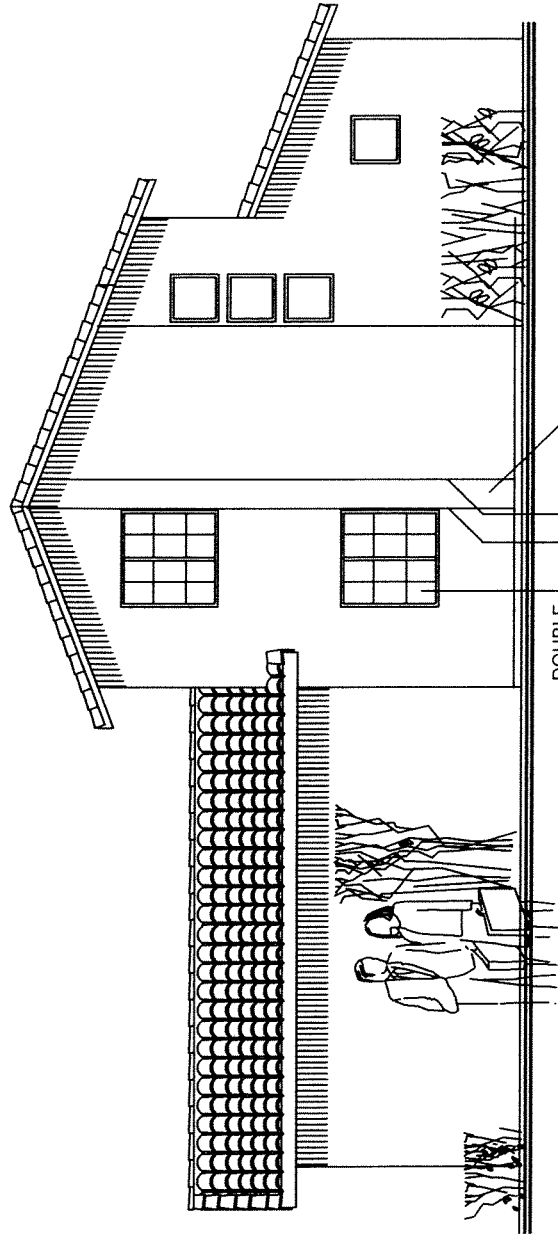


GADEA HOMES  
**unit 2 & 3 \* second floor plan**  
 SCALE 1/8" = 1'-0"

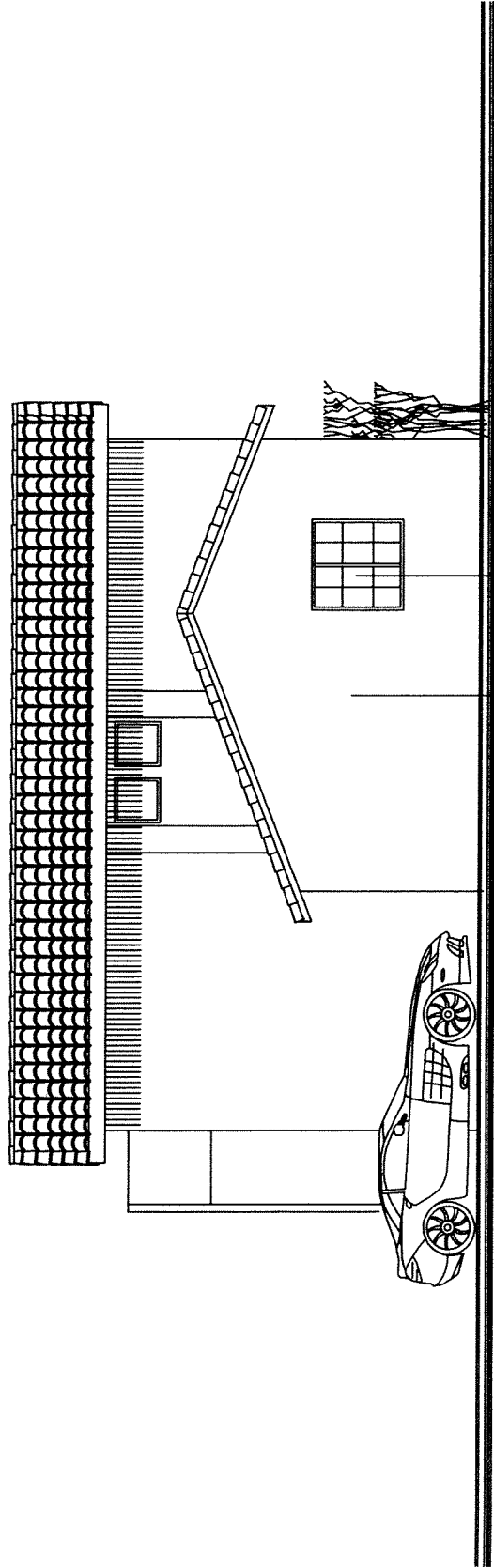
- FIREWALL 1 HOUR FIRE SEPERATION  
1- 5/8 DRYWALL TYPE "X" FROM CONC SLAB TO  
ROOF SHEATHING
- DOOR BETWEEN GARAGE SHALL BE  
SELF-CLOSING, TIGHT-FITTING, SOLID WOOD  
1-3/8" THICK OR A SELF-CLOSING TIGHT-FITTING  
DOOR HAVING A FIRE-PROTECTION RATING OF  
NOT LESS THAN 20 MIN



GADEA HOMES  
unit 2 & 3 \* first floor plan  
SCALE 1/8" = 1'-0"



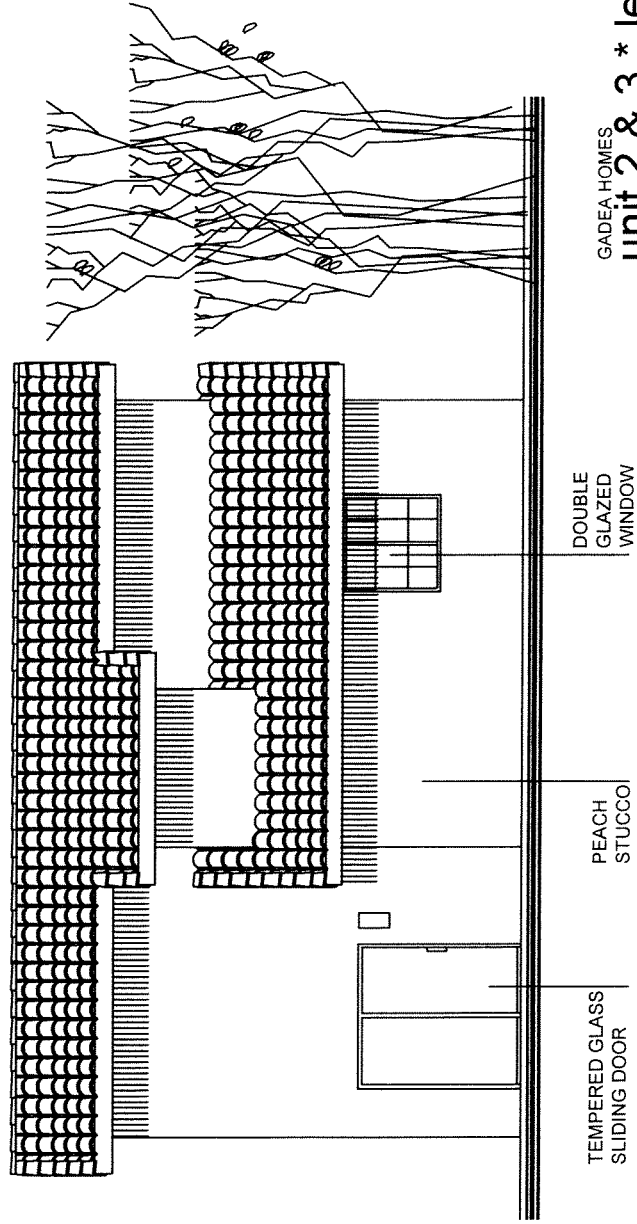
GADEA HOMES  
unit 2 & 3 \* rear elevation  
SCALE 1/8" = 1'-0"



GADEA HOMES  
unit 2 & 3 \* right elevation  
SCALE 1/8" = 1'-0"

DOUBLE  
GLAZED  
WINDOW

WHITE  
PEACH



GADEA HOMES  
unit 2 & 3 \* left elevation  
SCALE 1/8" = 1' - 0"

# Attachment C

## Conditions of Approval

PPD 06-10

September 13, 2006

**CONDITIONS OF APPROVAL  
PRECISE PLAN OF DESIGN (PPD) NO. 06-10  
September 13, 2006**

**COMMUNITY DEVELOPMENT DEPARTMENT**

**General**

1. Within one year of this approval, the Precise Plan of Design shall be exercised by substantial construction or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the permit/approval shall become null and void.

**PROJECT:**

**EXPIRATION DATE:**

**Precise Plan of Design (PPD) No. 06-10**

**September 13, 2007**

2. The review authority may, upon application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension not to exceed 12 months. The review authority shall ensure that the project complies with all current Development Code provisions.
3. In the event that this approval is legally challenged, the City will promptly notify the applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the applicant agrees to defend, indemnify, and hold harmless the City, Redevelopment Agency (RDA), their affiliates officers, agents and employees from any claim, action or proceeding against the City of Loma Linda. The applicant further agrees to reimburse the City and RDA of any costs and attorneys' fees, which the City or RDA may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition.
4. Construction shall be in substantial conformance with the plan(s) approved by the Planning Commission. Minor modification to the plan(s) shall be subject to approval by the Director through a minor administrative variation process. Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refilling of the original application and a subsequent hearing by the appropriate hearing review authority if applicable:
  - a. On-site circulation and parking, loading and landscaping;
  - b. Placement and/or height of walls, fence and structures;
  - c. Reconfiguration of architectural features, including colors, and/or modification of finished materials that do not alter or compromise the previously approved theme; and,
  - d. A reduction in density or intensity of a developmental project.

5. No vacant, relocated, altered, repaired or hereafter erected structure shall be occupied or no change of use of land or structure(s) shall be inaugurated, or no new business commenced as authorized by this permit until a Certificate of Occupancy has been issued by the Building Division. A Temporary Certificate of Occupancy may be issued by the Building Division subject to the conditions imposed on the use, provided that a deposit is filed with the Community Development Department prior to the issuance of the Certificate, if necessary. The deposit or security shall guarantee the faithful performance and completion of all terms, conditions, and performance standards imposed on the intended use by this permit.
6. This permit or approval is subject to all the applicable provisions of the Loma Linda Municipal Code, Title 17 in effect at the time of approval, and includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases, and noise control; odor control; screening; signs, off-street parking and off-street transformers, boxes, ducts or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
7. During construction of the site, the project shall comply with Section 9.20 (Prohibited Noises) of the Loma Linda Municipal Code and due to the sensitive receptors on-site and in the surrounding neighborhoods, construction activities shall be further restricted to cease between the hours of 6:00 p.m. to 7:00 a.m.
8. The applicant shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:
  - a. Water active grading areas and staging areas at least twice daily as needed;
  - b. Ensure spray bars on all processing equipment are in good operating condition;
  - c. Apply water or soil stabilizers to form curst on inactive construction areas and unpaved work areas;
  - d. Suspend grading activities when wind gusts exceed 25 mph;
  - e. Sweep public paved roads if visible soil material is carried off-site;
  - f. Enforce on-site speed limits on unpaved surface to 15 mph; and,
  - g. Discontinue construction activities during Stage 1 smog episodes.
9. In lieu of the affordable housing requirement, the proposed project is subject to an approved Development Agreement between the applicant and the City of Loma Linda Redevelopment Agency. Please contact Pam O'Camb, City Clerk and Redevelopment Agency Secretary at (909) 799-2819 for further information.

10. All construction activities shall cease if historic and/or archaeological resources are discovered during grading and/or excavation and removal of the existing foundation materials until a qualified archaeologist is called to the site to complete an evaluation of site and said resources.
11. The applicant shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development (including custom single-family residences). Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits. Please contact Elliot Patterson, Information Systems Supervisor at (909) 799-2897 for further information.

12.

#### **FIRE DEPARTMENT**

13. All construction shall meet the requirements of the editions of the California Building Code (CBC) and the California Fire Code (CFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.
14. Pursuant to CBC Section 904.2.2, as amended in Loma Linda Municipal Code (LLMC) Section 15.08.220, and CFC Section 1003.2.2.3, as amended in LLMC Section 15.28.250, all new buildings and additions shall be equipped with automatic fire sprinkler systems meeting the requirements of UBC Standard No. 9-1 (NFPA 13). Systems shall be supplied by the existing on-site water system. Pursuant to UFC Section 1001.3, plans and specifications for the fire sprinkler system shall be submitted to Fire Prevention for review and approval prior to installation.
15. Fire Department Impact Fees shall be assessed according to the rate legally in effect at the time of building permit issuance. Pursuant to LLMC Chapter 3.28, plan check and inspection fees shall be collected at the rates established by the City Manager's Executive Order.
16. The applicant shall provide a emergency crash gate to the southeast end of the southern property line.

#### **PUBLIC WORKS**

17. Submit an engineered grading plan for proposed project.

18. All utilities shall be underground. The City of Loma Linda shall be the water and sewer purveyor.
19. All public improvement plans shall submit a Utility Improvement Plan showing the location of fire hydrants for review and approval by the Public Safety Department.
20. Per the City of Loma Linda recycling policy, the project proponent shall incorporate interior and exterior storage areas for recyclables.
21. The project proponent shall comply with City adopted policies regarding the reduction of construction and demolition (C & D) materials.
22. NPDES Best Management Practice standards shall be incorporated into grading, erosion control and improvement plans and followed during construction. Proper grading and erosion control procedures shall be followed to prevent sedimentation and damage to off-site property. Permanent erosion control facilities or slope plantings may be required to control runoff and debris flowing downstream.
23. Construct half-street street improvements (including, but not limited to curb and gutter, asphalt concrete pavement, sidewalk, and one drive approach).
24. Repair all sidewalks, curb and gutter, drive approach and street improvements damaged as a result of the construction.
25. Backflow protection shall be installed in accordance with Public Works Department requirements. A double check valve shall be required if a booster pump is installed or a fire sprinkler system is installed.

End of Conditions